

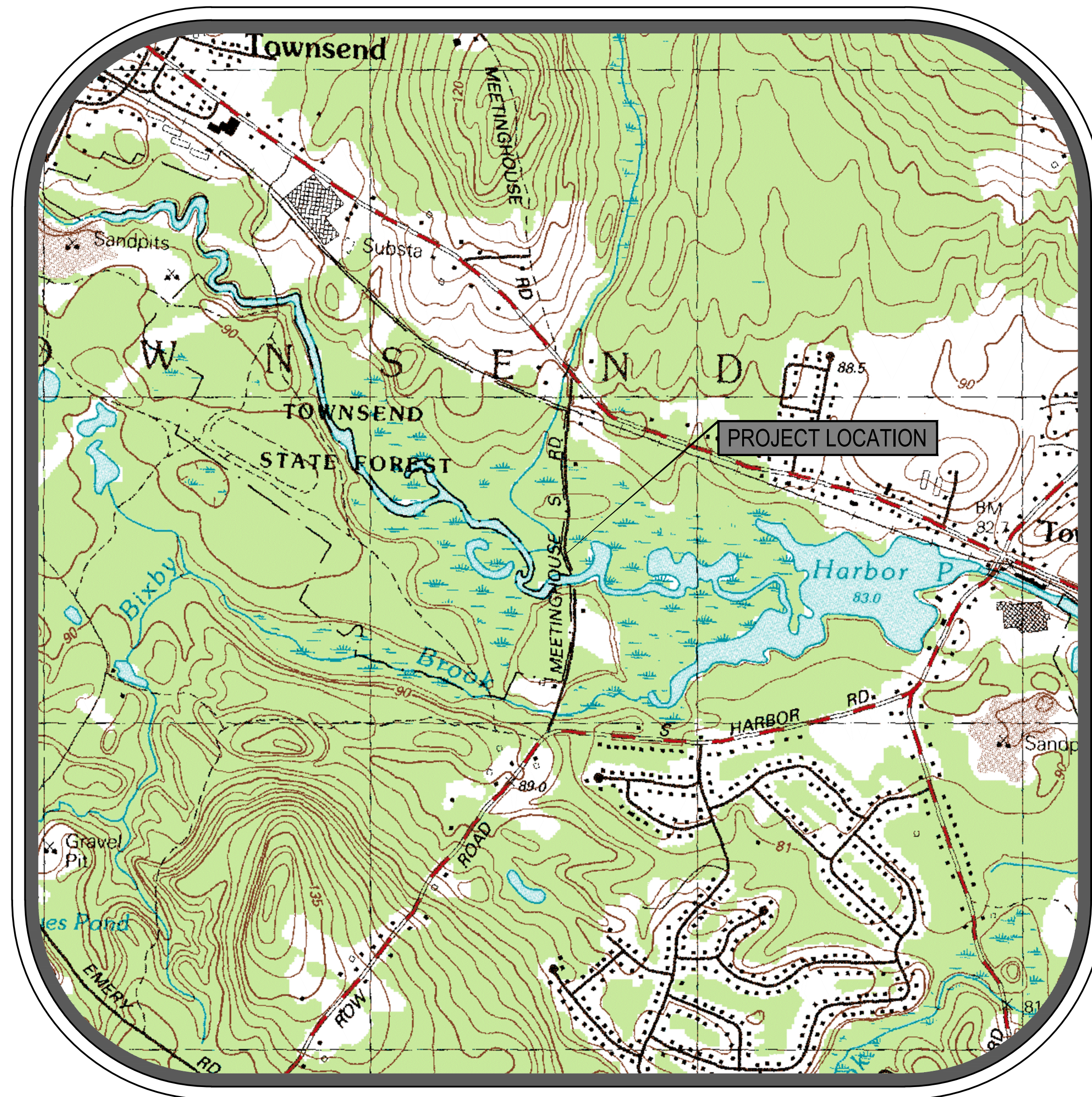
# NOTICE OF INTENT PLAN SET TOWNSEND, MASSACHUSETTS OLD MEETINGHOUSE ROAD

## LEGEND

EXIST. FEATURE	DESCRIPTION	EXIST. SYM.	DESCRIPTION
	STREAMS/RIVERS		LIGHT POLE
	WETLANDS		TELEPHONE POLE
	LIMIT OF BUFFER ZONE		GUY WIRE
	LEDGE		HYDRANT
	100' WELL OFFSET		SEWER MANHOLE
	PROPERTY LINE		STORM WATER MANHOLE
	EASEMENT LINE		WELL
	WIRE FENCE		MISCELLANEOUS MANHOLE
	WOOD FENCE		WETLAND FLAG
	GUARD RAIL		CATCH BASIN
	CHAIN LINK FENCE		WATER GATE VALVE
	CONC. WALL		GAS GATE VALVE
	STONE WALL		ELECTRICAL METER
	WATER LINE		GAS METER
	GAS LINE		TRAFFIC SIGNAL SWITCH
	ELECTRICAL LINE		SIGN
	SANITARY SEWER		PERC TEST
	STORM DRAIN		TEST PIT
	TELEPHONE LINE		ELECTRICAL TRANSFORMER
	CATV		TELEPHONE BOX
	EXISTING OVER-HEAD WIRES		CABLE BOX
	EXISTING CONTOUR (INDEX)		FLAG POLE
	EXISTING CONTOUR (INTERMEDIATE)		WATER SHUT OFF
	EXISTING SPOT ELEVATION		SHRUB
	EXISTING BUILDING/HOUSE		CLEANOUT
	TREE LINE		FIRE ALARM
			VENT PIPE

## LEGEND

PROP. FEATURE	DESCRIPTION	PROP. SYM.	DESCRIPTION
	REPLICATED WETLANDS		PROPOSED LIGHT POLE
	PROPERTY LINE		PROPOSED TELEPHONE POLE
	EASEMENT LINE		PROPOSED HYDRANT
	HAYBALES		PROPOSED SANITARY MANHOLE
	WIRE FENCE		PROPOSED STORM WATER MANHOLE
	WOOD FENCE		PROPOSED TELEPHONE MANHOLE
	GUARD RAIL		PROPOSED ELECTRICAL MANHOLE
	CHAIN LINK FENCE		PROPOSED WATER SHUTOFF
	POURED CONCRETE RETAINING WALL		PROPOSED POST
	CONC. BLOCK RETAINING WALL		PROPOSED CATCH BASIN
	STONE RETAINING WALL		PROPOSED DOUBLE CATCH BASIN
	PROPOSED WATER LINE		PROPOSED WATER GATE VALVE
	PROPOSED GAS LINE		PROPOSED GAS GATE VALVE
	PROPOSED ELECTRICAL LINE		PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED SANITARY SEWER		PROPOSED ELECTRICAL JUNCTION BOX
	PROPOSED STORM DRAIN		PROPOSED GAS METER
	PROPOSED ROOF DRAIN		PROPOSED TRAFFIC SIGNAL SWITCH
	PROPOSED UNDER DRAIN		PROPOSED SIGN
	PROPOSED TELEPHONE LINE		BORING
	PROPOSED CABLE LINE		HANDICAPPED SPACE
	PROPOSED BACK CAPE COD BERM		PROPOSED FLARED END SECTION
	PROPOSED EDGE OF PAVEMENT		PROPOSED RIPRAP
	PROPOSED UNPAVED ROAD		PROPOSED STONE BOUND
	PROPOSED CONTOUR (INDEX)		STANDARD TREE
	PROPOSED CONTOUR (INTERMEDIATE)		PINE TREE
	PROPOSED SPOT ELEVATION		SHRUB
	PROPOSED BUILDING/HOUSE		
	TREE LINE		



LOCUS MAP  
SCALE: 1" = 1200'±

## ABBREVIATIONS

ABB.	DESCRIPTION
ATM	ATMOSPHERIC TANK
UD	UNDERDRAIN
FD	FOUNDATION DRAIN
F.S.	FIRE SERVICE
DOM.	DOMESTIC WATER SERVICE
B.O.	WATER BLOW OFF
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
ST	SEPTIC TANK
PC	PUMP CHAMBER
DP1	DRAIN PIPE ID
SP1	SEWER PIPE ID
DB	DISTRIBUTION BOX
SC	STORMCEPTOR CATCH BASIN
GAL	GALLON
TOP	TOP OF FOUNDATION
EL.	ELEVATION
INV.	INVERT
WSO	WATER SHUTOFF
BCCB	BITUMINOUS CAPE COD BERM
RET.	RETAINING WALL
C.O.	CLEAN OUT
INSP. P.	INSPECTION PORT
VCC	VERTICAL CONCRETE CURB
BCCB	BITUMINOUS CAPE COD BERM
VGC	VERTICAL GRANITE CURB

## NOTES

RECORD OWNER :  
COMMONWEALTH OF MASSACHUSETTS  
251 CAUSEWAY STREET  
BOSTON, MA 02114

DEED REFERENCES:  
BOOK 31983 PAGE 432

PLAN REFERENCE:  
PLAN NO. 291 OF 1983  
PLAN NO. 831 OF 2017

ASSESSORS REFERENCE:  
MAP 25 & 34

ZONING DISTRICT:  
RESIDENTIAL A-3 ACRES

## SHEET INDEX

SHEET NUMBER	SHEET TITLE
SHEET C1.0	TITLE SHEET
SHEET C2.0	SITE PLAN
SHEET C3.0	PROFILE SHEET

PREPARED BY:



CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS  
1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462  
PHONE: (978) 779-6091  
www.dillisandroy.com

OWNER:

COMMONWEALTH OF MASSACHUSETTS  
BOSTON, MA 02114

APPLICANT:

SQUANNACOOK GREENWAYS, INC.  
TOWNSEND, MA 01469

SCALE:

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DATE:

6/03/21

DESIGN BY:

RPV

DRAWN BY:

RPV

CHECKED BY:

FMM

TITLE SHEET  
OLD MEETINGHOUSE ROAD  
TOWNSEND, MASSACHUSETTS

NO.	DATE	DESCRIPTION	BY

JOB NO.

6056

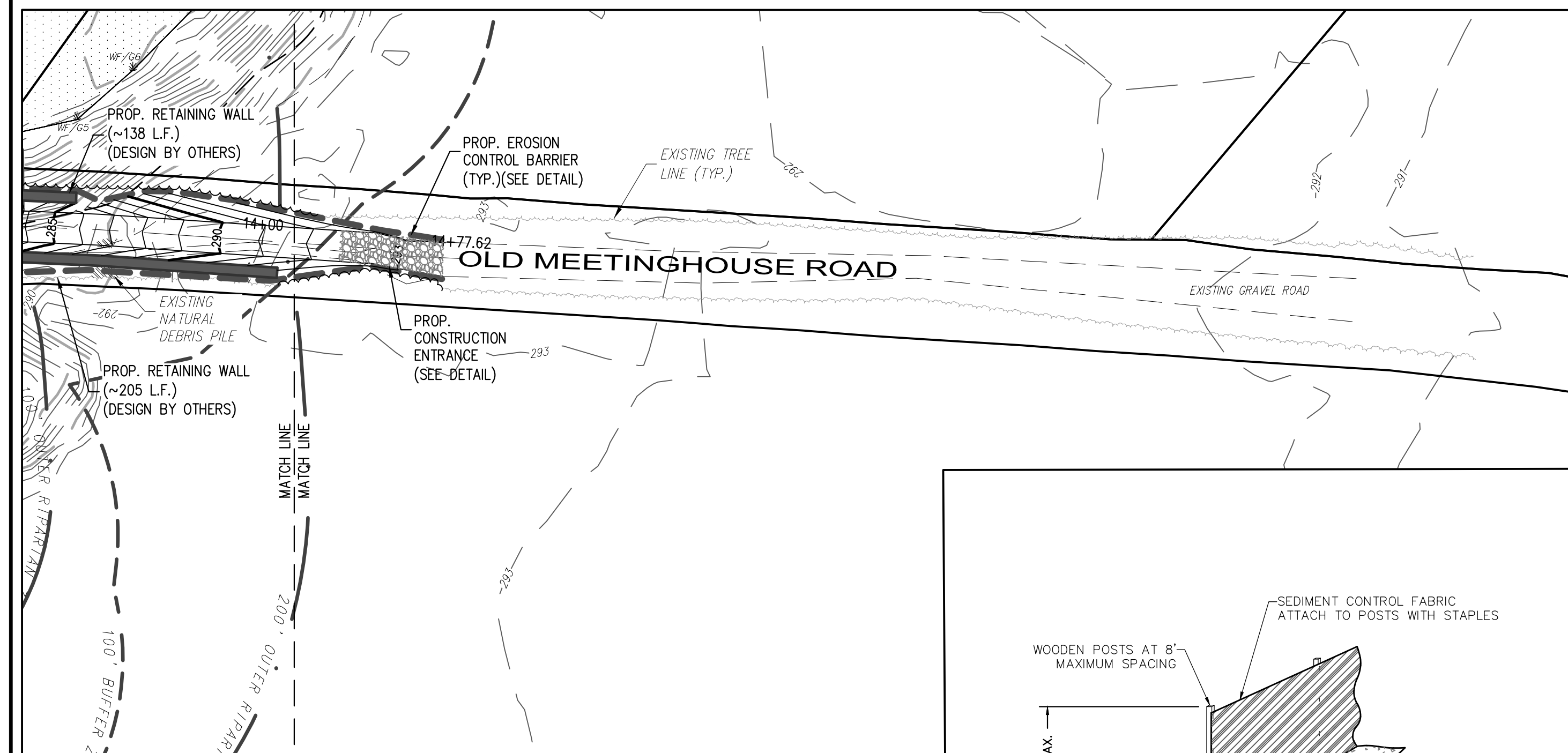
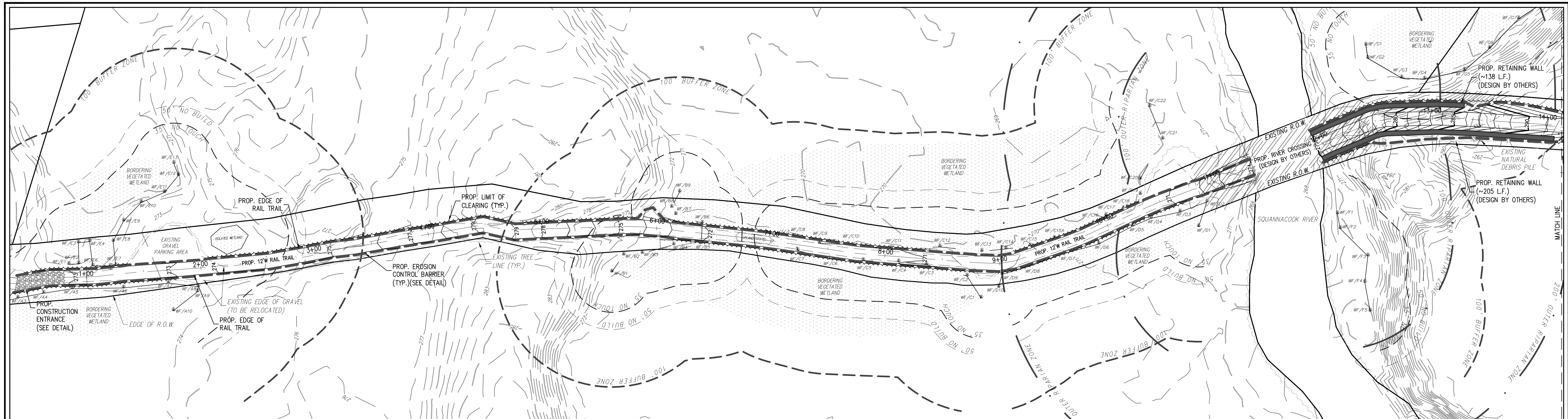
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SHEET NO.

C1.0





**EROSION & SEDIMENTATION CONTROL NOTES:**

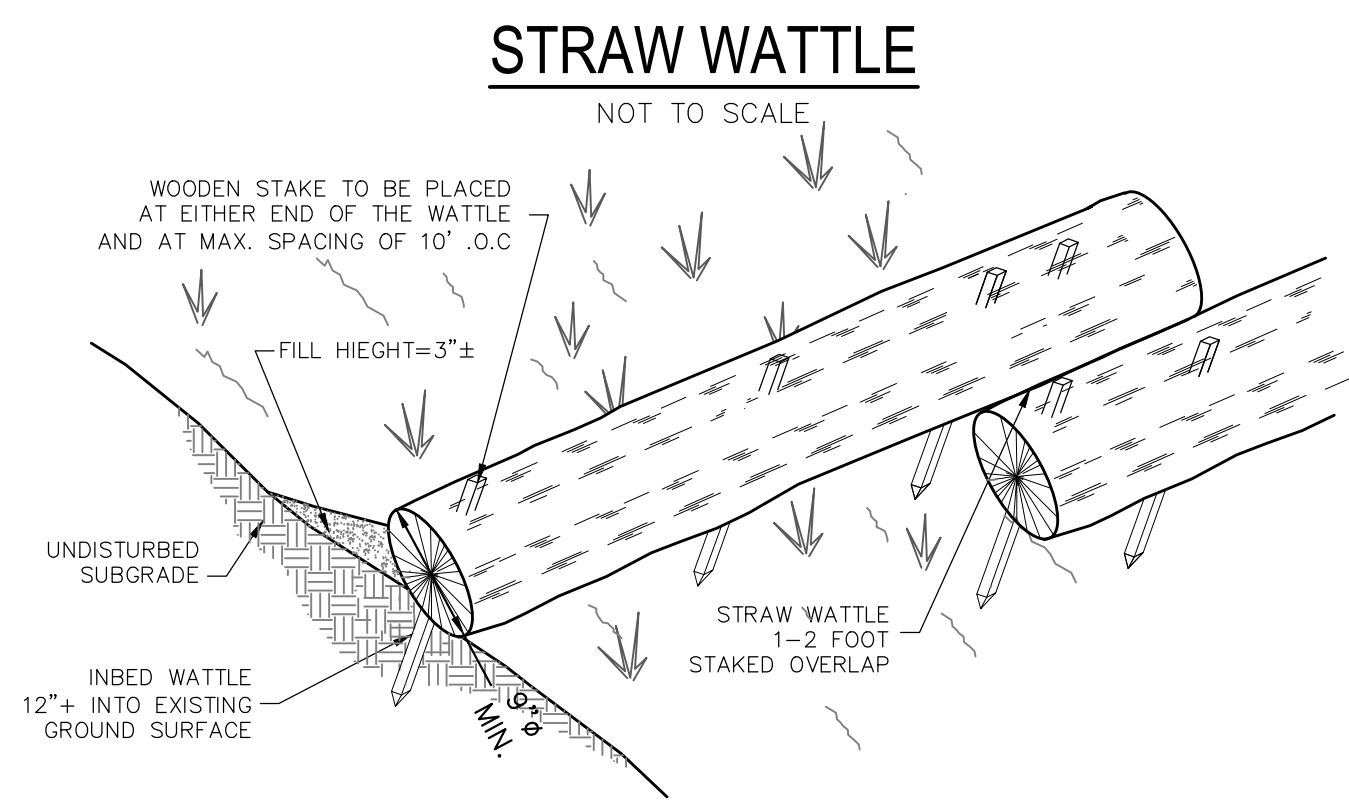
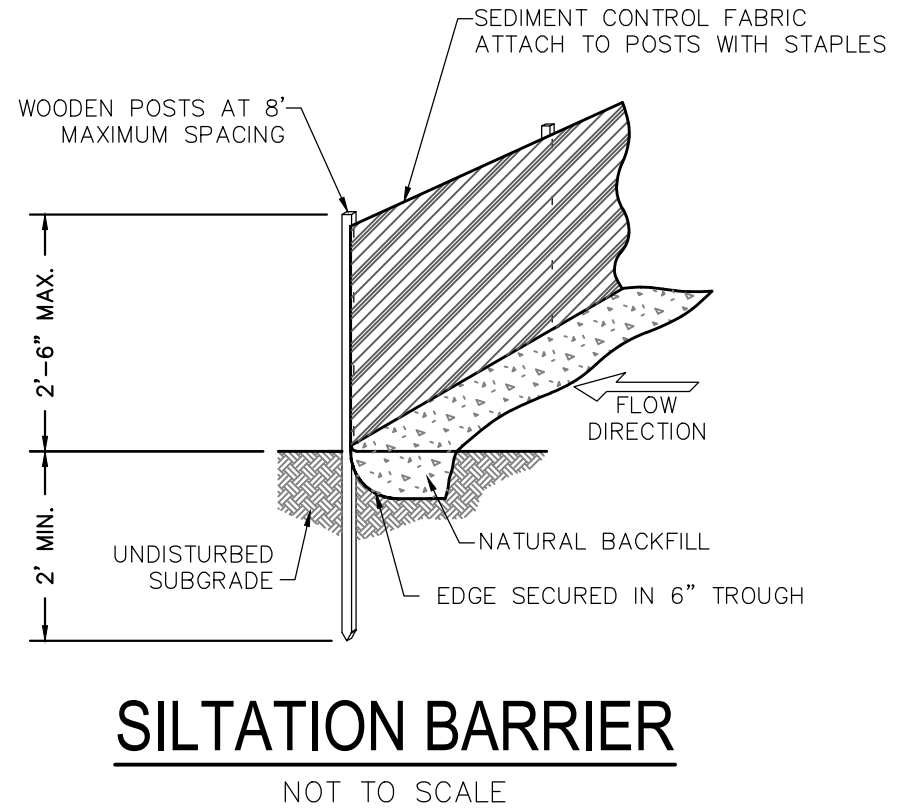
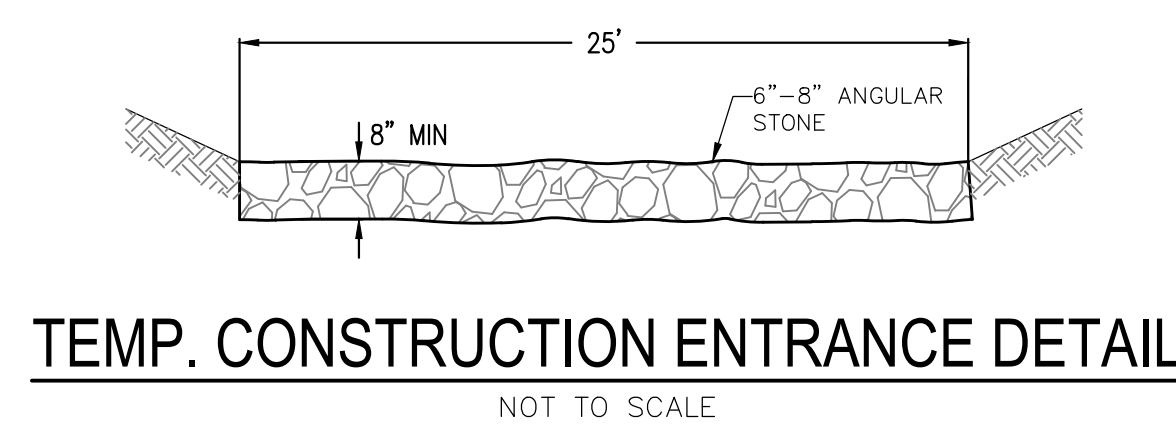
- 1.1 GENERAL REQUIREMENTS
  - 1.1.1 CONSTRUCTION SHALL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
  - 1.1.2 EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE ON SITE.
  - 1.1.3 AREAS WHICH ARE NOT TO BE DISTURBED SHALL BE CLEARLY MARKED BY FLAGS, SIGNS, ETC. RETAIN EXISTING VEGETATION WHERE FEASIBLE.
  - 1.1.4 THERE SHALL BE NO STORAGE OF ANY KIND OF ANY CHEMICALS, PESTICIDES, FUELS AND OTHER POTENTIALLY TOXIC OR HAZARDOUS MATERIALS ON SITE.
  - 1.1.5 NO DEBRIS, JUNK, RUBBISH OR OTHER WASTE MATERIALS SHALL BE BURIED ON THE SITE.
  - 1.1.6 STUMPS AND OTHER WOOD DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE "POLICY ON THE DISPOSAL OF WOODWASTES" PUBLISHED BY THE DEPARTMENT OF ENVIRONMENTAL AFFAIRS, DATED AUGUST 14, 1987.
  - 1.1.7 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
- 1.2 MAINTENANCE/ PERFORMANCE STANDARDS
  - 1.2.1 ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL WITH AN ACCUMULATION OF 1/2" OR MORE. THE FOLLOWING ITEMS SHALL BE CHECKED IN PARTICULAR:
    - 1.2.1.1 THE SILT FENCE BARRIERS SHALL BE CHECKED REGULARLY FOR TEARS, DETERIORATION AND UNDERMINING AND SHALL BE REPAIRED AS REQUIRED.
    - 1.2.1.2 ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE RESEED AS NEEDED.
  - 1.2.2 THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD, DIRT DEBRIS, ETC., ONTO THE PUBLIC ROAD. THIS MAY REQUIRE PERIODIC UP KEEP/RECONSTRUCTION OF THE TOP DRESSING WITH 2 INCH STONE AS CONDITIONS DEMAND AND OR CLEANOUT/REPLACEMENT OF STONE IF CLOGGING OR SEDIMENTATION OCCURS. ALL MATERIALS SPILLED DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO THE TOWN ROAD MUST BE REMOVED DAILY BY SWEEPING OR OTHER SUITABLE MEANS.
  - 1.2.3 ALL AREAS ON SITE SUBJECT TO EROSION/SEDIMENTATION SHALL BE INSPECTED ON A REGULAR BASIS. ALL ITEMS SPECIFIED ON THIS AND OTHER PLANS SHALL BE INSPECTED TO VERIFY THAT THEY ARE OPERATING AS DESIGNED AND INTENDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AND REPAIR ALL STRUCTURES.
  - 1.2.4 THE ENTIRE DRAINAGE SYSTEM SHALL BE INSPECTED ON A REGULAR BASIS AND PRIOR TO AND IMMEDIATELY AFTER ANY RAINFALL EVENT WHILE THE SITE IS DISTURBED. CONTRACTOR SHALL PREVENT SEDIMENT FROM ENTERING THE DRAINAGE POND DURING CONSTRUCTION.
- 1.3 TEMPORARY MEASURES
  - 1.3.1 PLACE SILT FENCE WITH STRAW BALES AS SHOWN ON THE EROSION CONTROL PLAN. PLACE A SECOND SILT FENCE IN LOCATIONS AS DEPICTED ON THE EROSION CONTROL PLAN.
  - 1.3.2 IF LOAM IS PLACED OUTSIDE OF THE NORMAL GROWING SEASON SILT FENCE OR STRAW WADDOLES SHALL BE PLACED BETWEEN THE LAWN AREA AND PAVEMENT.
  - 1.3.3 CONSTRUCT TEMPORARY STONE PAD AT EXIT TO THE SITE AS SHOWN ON THE EROSION CONTROL PLAN.
  - 1.3.4 DURING DRY PERIODS, PROVIDE MEANS FOR MITIGATION OF DUST, SUCH AS WATERING OF EXPOSED AREAS.
  - 1.3.5 STOCKPILE LOCATIONS SHALL BE WITHIN THE PROPOSED LIMIT OF WORK AND OUTSIDE ALL RESOURCE AREAS. SOIL STOCKPILES STORED FOR 24 HOURS OR LONGER WILL BE PROVIDED WITH ANY NECESSARY EROSION CONTROL. PILES LEFT FOR 21 DAYS OR MORE SHALL BE SEED.
  - 1.3.6 WASTE DISPOSAL RECEPTACLES AND TRAILERS SHALL BE USED FOR THE DISPOSAL OF CONSTRUCTION DEBRIS, WHICH SHALL BE REMOVED FROM SITE ACCORDING TO STATE, LOCAL AND FEDERAL GUIDELINES. CONSTRUCTION DEBRIS INCLUDES PAVEMENT, UTILITY, EARTH AND BUILDING MATERIALS THAT CANNOT BE REUSED. THE RECEPTACLES SHALL BE LOCATED ON-SITE OUTSIDE OF ALL RESOURCE AREAS AND COVERED.
  - 1.3.7 THE TEMPORARY MEASURES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION HAS OCCURRED AND ONLY AFTER APPROVAL BY THE FITCHBURG CONSERVATION COMMISSION AND THE ENGINEER.
  - 1.3.8 IF LEDGE IS ENCOUNTERED DURING THE CONSTRUCTION OF A TEMPORARY SETTLING BASIN, THE DOWNHILL EXTENTS OF THE BASINS SHALL BE BERMED, AS OPPOSED TO REMOVING SECTIONS OF THE ENCOUNTERED LEDGE.
- 1.4 PERMANENT STABILIZATION
  - 1.4.1 SLOPES IN EXCESS OF 3 TO 1 SHALL BE HYDRO-MULCHED, LOAMED (6" MIN.) AND SEEDS SLOPES SHALL BE PROTECTED FROM WASHOUT BY MULCHING OR OTHER ACCEPTABLE SLOPE PROTECTION UNTIL VEGETATION IS ESTABLISHED.
  - 1.4.2 UNLESS OTHERWISE INDICATED HEREON ALL DISTURBED AREAS SHALL BE LOAMED (6" MIN.) AND SEEDS WITH AN APPROPRIATE MIXTURE OF GRASSES SUITABLE FOR THE AREA. AREAS NOT STABILIZED BEFORE THE END OF THE FALL PLANTING SEASON SHALL BE HYDRO-MULCHED AND SEEDS IN THE SPRING. ALL DISTURBED AREAS DURING THE WINTER MONTHS WILL BE STABILIZED BY LIMITING THE SLOPES TO 3 TO 1 OR HYDRO-MULCHED, AS DESCRIBED ABOVE.
- 1.5 DEWATERING
  - 1.5.1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING OPERATIONS DURING CONSTRUCTION.
  - 1.5.2 DEWATERING SHALL BE PERFORMED TO ACHIEVE CONSTRUCTION OF FOOTINGS, FOUNDATIONS, PAVEMENTS, AND OTHER SUBSURFACE UTILITIES AND APPURTENANCES IN DRY CONDITIONS.
  - 1.5.3 DEWATERING SHALL BE PERFORMED THROUGH THE USE OF IN TRENCH SUMP PUMPS, WELLS, DRAINS AND OTHER ITEMS NECESSARY FOR CONSTRUCTION. CONTRACTOR SHALL FURNISH, INSTALL, MAINTAIN, OPERATE AND REMOVE ALL DEWATERING DEVICES AND APPURTENANCES AS REQUIRED FOR CONSTRUCTION. SUCH ACTIVITIES SHALL BE INCLUDED IN THE CONTRACTORS BID.

**GENERAL NOTES:**

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN WAS COMPILED FROM ASSESSOR'S MAPS, RECORDED PLANS AND DEEDS.
2. ELEVATIONS REFER TO NGVD 88.
3. RESOURCE AREAS AS DEFINED BY THE MASSACHUSETTS WETLANDS PROTECTION ACT AND THE TOWN OF TOWNSEND WETLANDS BY-LAW WERE DELINEATED BY DILLIS & ROY CIVIL DESIGN GROUP, INC IN NOVEMBER 2020.
4. THE PROJECT FALLS WITHIN ZONE AE AS SHOWN ON THE FLOOD INSURANCE RATE MAP 25017C0064E FOR THE TOWN OF TOWNSEND.
5. THE PROJECT FALLS WITHIN NHESP ESTIMATED HABITATS OF RARE WILDLIFE.
6. EXISTING UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM FIELD MEASUREMENT AND RECORD PLANS. THE UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND SHOULD NOT BE ASSUMED TO BE CORRECT NOR SHOULD IT BE ASSUMED THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES LOCATED ON OR NEAR THE SITE. THE CONTRACTOR SHALL CALL DIG SAFE 1-888-DIG-SAFE PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAWS.

**GRADING NOTES:**

1. GRADES SHOWN ON THIS PLAN REFER TO FINAL FINISHED GRADES.
2. RETAINING WALLS SHOWN ON THIS PLAN SHALL BE CONSTRUCTED OF CONCRETE BLOCK (SEGMENTAL RETAINING WALL UNITS). THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING STRUCTURAL DESIGNS FOR ALL RETAINING WALLS SHOWN ON THIS PLAN. SUBMIT DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
3. ALL SLOPES, UNLESS OTHERWISE NOTED SHALL BE GRADED AT 3:1.



PREPARED BY:

**DILLIS & ROY**  
CIVIL DESIGN GROUP

CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS  
1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462 PHONE: (978) 779-6091 www.dillisandroy.com

OWNER:  
COMMONWEALTH OF MASSACHUSETTS  
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SQUANNACOOK GREENWAYS, INC.  
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SCALE:

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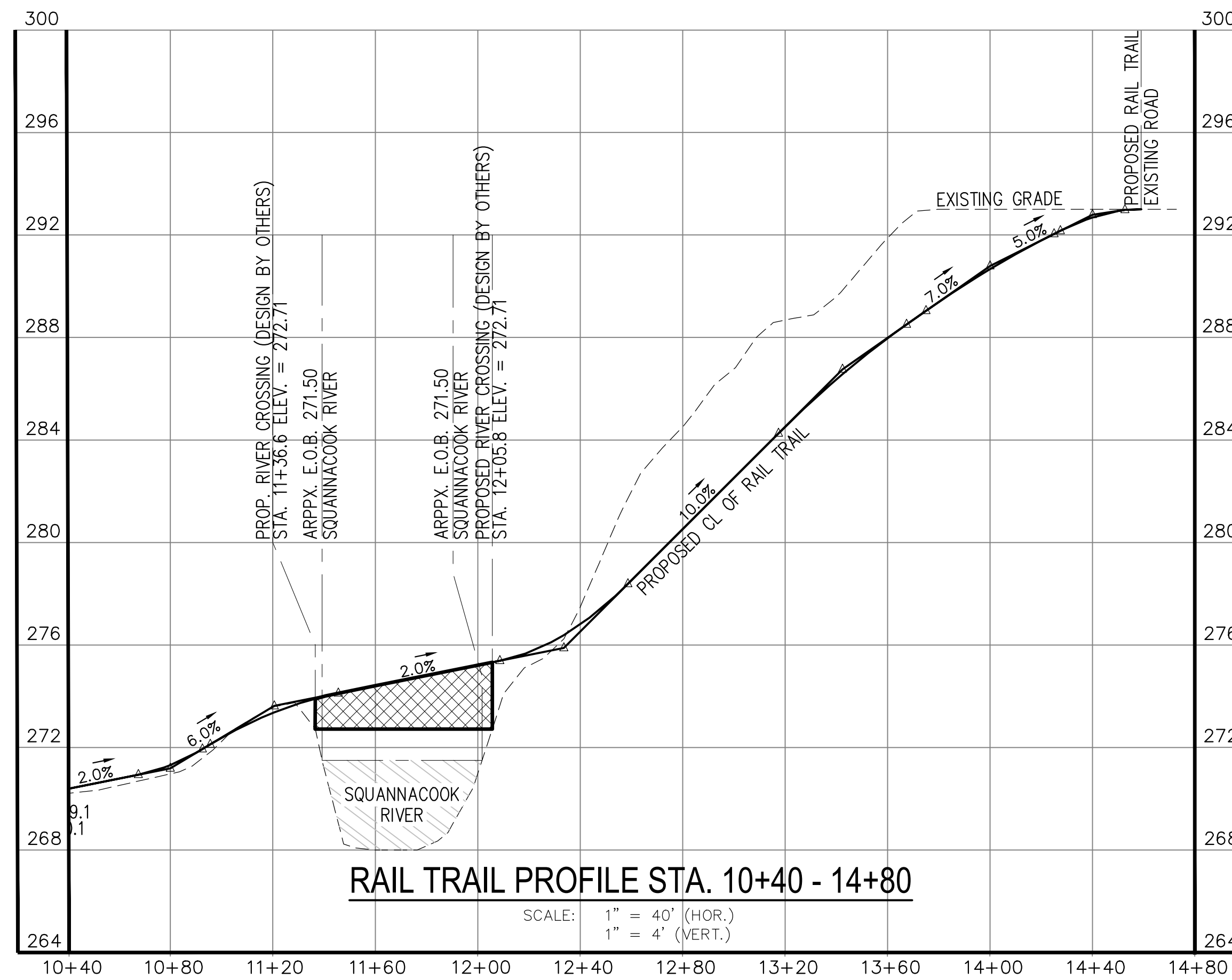
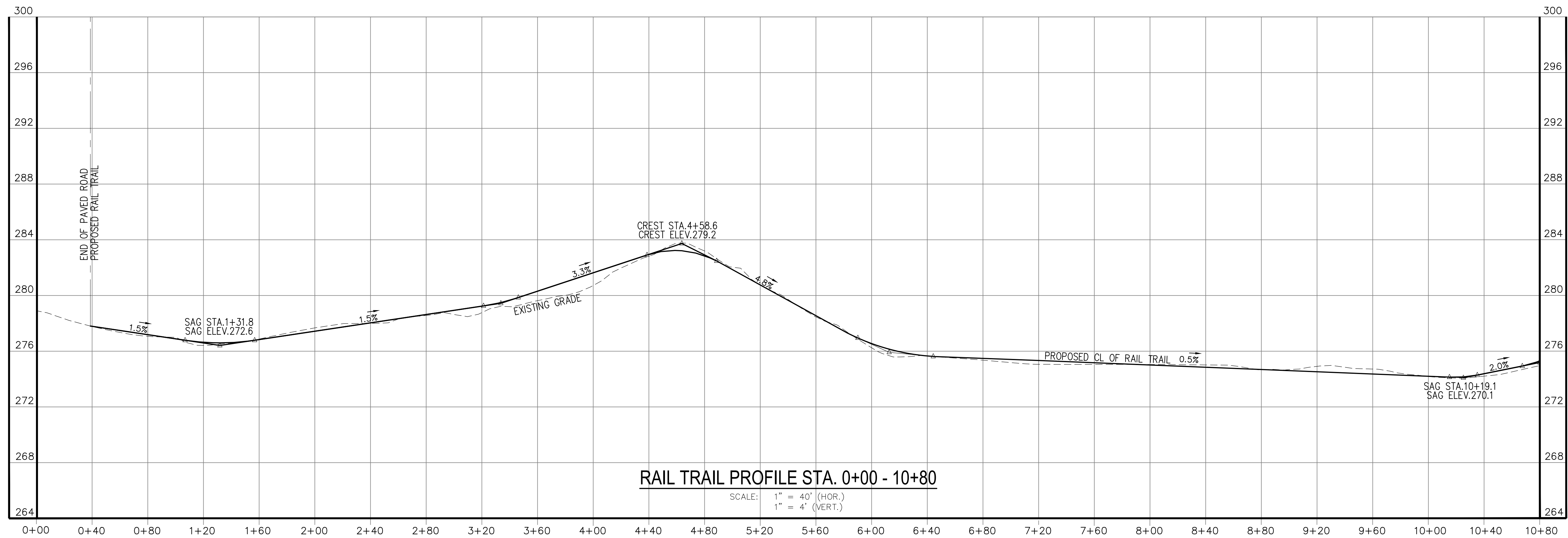
SITE PLAN OLD MEETINGHOUSE ROAD TOWNSEND, MASSACHUSETTS			
NO.	DATE	DESCRIPTION	BY

JOB NO. 6056

DRAWING NO. 6056-NOI

SHEET NO. **C2.0**



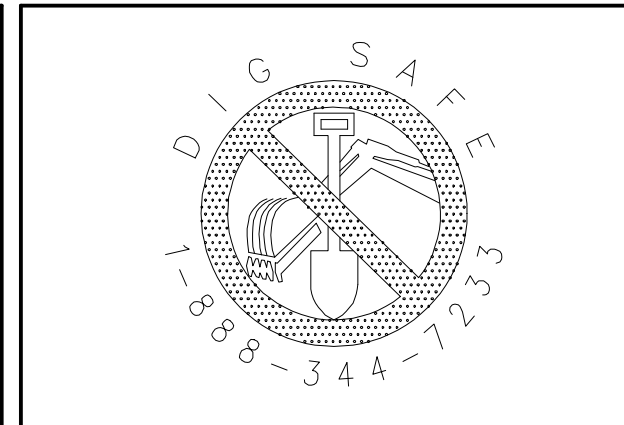


PREPARED BY:  
  
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 1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462 PHONE: (978) 779-6091 www.dillisandroy.com

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PROFILE SHEET OLD MEETINGHOUSE ROAD TOWNSEND, MASSACHUSETTS			
NO.	DATE	DESCRIPTION	BY

JOB NO. 6056  
 DRAWING NO. 6056-PRO  
 SHEET NO. **C3.0**